

NO.	ISSUED	DATE
1	BUILDING PERMIT	APR 18 2020
2	REVISED	SEP 25 2019
3	FOR CONSTRUCTION	SEP 25 2019
4	FOR INSPECTION # 4	SEP 18 2019

KEY PLAN



O.B.C. CLASSIFICATION

OFFICE: GROUP D, DIVISION 1, UP TO 2 STOREYS, SPRINKLERED	O.B.C. 3.2.2.56
WAREHOUSE & SERVICE AREA GROUP 1, DIVISION 2, UP TO 2 STOREYS, SPRINKLERED	O.B.C. 3.2.2.72

LEGAL LAND DESCRIPTION

PART 1
PLAN OF BLOCK 6
REGISTERED PLAN 20M-1119
TOWN OF MILTON
REGIONAL MUNICIPALITY OF HALTON

LOT AREA: 1.88 ha
EXISTING LOT AREA: 1.78 ha
LANDS DEDICATED TO TOWN FOR ROAD WIDENINGS: 0.10 ha

ZONING REQUIREMENTS
ZONE M1 - EMPLOYMENT ZONE, BUSINESS PARK

	REQUIRED	PROVIDED	%
MINIMUM LOT AREA	0.8 ha	1.77 ha	96.9%
MINIMUM LOT FRONTAGE	40 m	96.9 m	
BUILDING AREA	-	1215.0 sqm	6.9%
LANDSCAPED OPEN AREA	10% MIN.	3455.0 sqm	19.5%
CURB/WALKWAYS	-	209.6 sqm	1.5%
ASPHALT AREA	-	12764.4 sqm	72.1%
GROSS FLOOR BUILDING AREA	-	1865.0 sqm	
BUILDING HEIGHT	15 m MAX.	10 m	
MINIMUM BUILDING SETBACK FRONT YARD	9 m	38.5 m	
MINIMUM BUILDING SETBACK INTERIOR SIDE	3 m	-	
MINIMUM BUILDING SETBACK EXTERIOR SIDE	9 m	38.8 m	
MINIMUM BUILDING SETBACK REAR YARD	12 m	19.0 m	
MINIMUM LANDSCAPE BUFFER (ABUTTING STREET)	4.5 m	4.5 m	
MINIMUM LANDSCAPE BUFFER (ABUTTING JSP)	0 m	1.5 m	

PARKING REQUIRED:

OFFICE AREA:	GROUND FLOOR (252 m ² - 10% / 30)	= 8 SPACES
	SECOND FLOOR (450 m ² - 10% / 30)	= 14 SPACES
WAREHOUSE/MAINTENANCE	3 BAYS x 14 SPACES PER BAY	= 9 SPACES
		= 31 SPACES
TOTAL REQUIRED PARKING:		= 2 SPACES
ACCESSIBLE PARKING: 4% OF REQUIRED PARKING		= 1 AREA
LOADING: BICYCLE SPACE: 3% OF REQUIRED PARKING		= 1 SPACE

PARKING PROVIDED:

CAR PARKING SPACE:	SIZE: 2.75m x 5.8m	PROVIDED: 33 SPACES
ACCESSIBLE PARKING:		1 SPACE
TYPE A	3.4m x 5.8m	1 SPACE
TYPE B	2.75m x 5.8m	1 SPACE
ACCESS AISLE	1.5m x 5.8m	57 SPACES
TOTAL CAR PARKING PROVIDED:		57 SPACES
LOADING AREA:	3.5m x 6m	1 AREA
BICYCLE SPACE:	0.6m x 1.8m	2 SPACES

TRUCK PARKING (NOT INCLUDED IN REQUIRED PARKING)

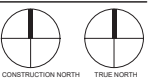
TRUCK PARKING SPACE	3.65m x 12m	25 SPACES
TRUCK CAB PARKING SPACE	4.6 m x 8.5 m	27 SPACES

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SEAL



TRUCK RENTAL AGENCY

SITE PLAN FILE # SP 2120
7265 No. 5 SIDE ROAD
MILTON, ON

SHEET NAME

SITE PLAN

START DATE: APRIL 2020

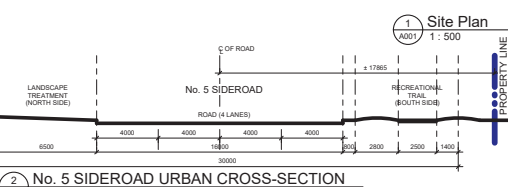
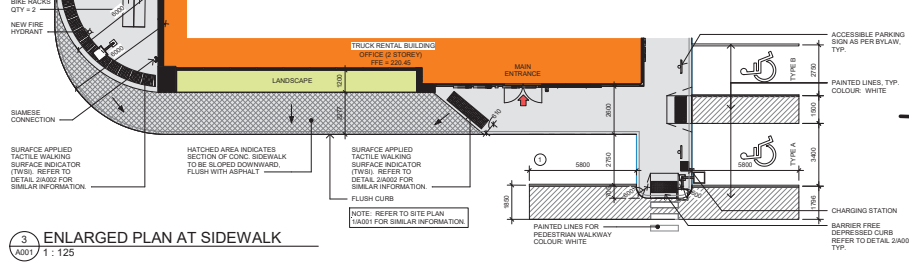
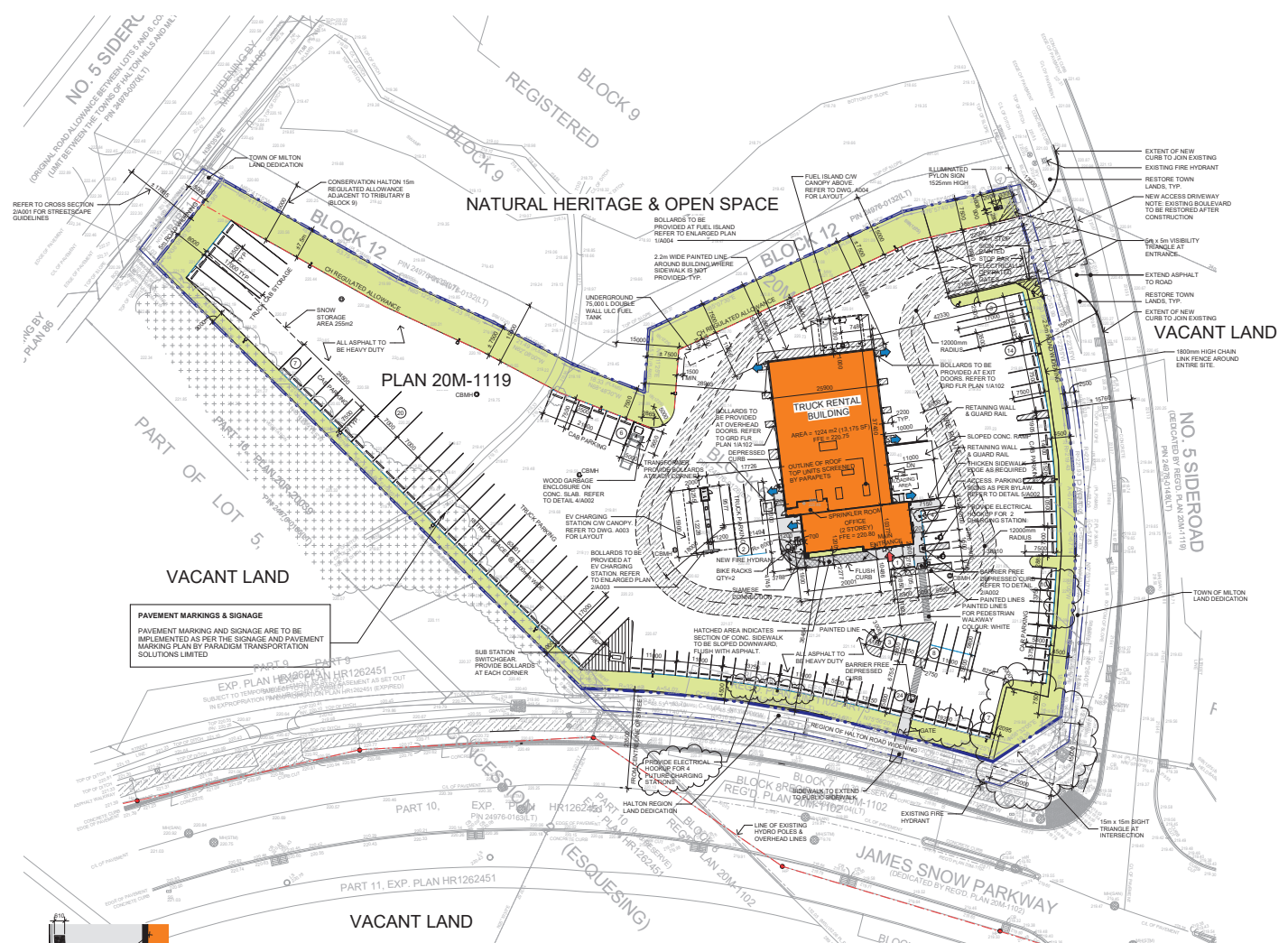
DRAWN BY: TP

CHECKED BY: TP

SCALE: As Indicated

PROJECT NO: 120026

DRAWING: A001



CREDIT NOTE

THIS SITE PLAN IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE SURVEY PLAN PREPARED BY GUIDO PAPA SURVEYING, DATED 04/02/20. CHAMBERLAIN ARCHITECT SERVICES LIMITED ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER SEALS OF CERTIFICATION, IF ANY.

SITE LEGEND

ENTRANCE / EXIT	MH	MANHOLE
BUILDING SETBACK LINE	CB	CATCH BASIN
PROPOSED PAD MOUNTED TRANSFORMER (REFER TO ELECTRICAL DRAWINGS)	CBMH	CATCH BASIN MANHOLE
DESIGNATED BARRIER-FREE PARKING SPACE	EFH	EXISTING FIRE HYDRANT
POLE MOUNTED BARRIER-FREE PARKING SIGN	6W	6m WIDE FIRE ROUTE WITH HEAVY DUTY ASPHALT
DEPRESSED CURB	LSA	LANDSCAPE / SOOD AREA
VEHICLE TRAVEL	CS	CONCRETE SIDEWALK NOTE: PROVIDE INSULATION UNDER SIDEWALK AT ENTRANCES (SEE DETAIL SIA02)
PRE-CAST CONC. TIRE STOPS REMOVED 1M FROM EDGE OF ASPHALT CURB - 1'x 12" TRUCKS - 12" x 16"	PL	PAINTED LINES ON ASPHALT

2023/03/28 09:30 AM